

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

*John Kerr – Chair
David Thomas – Vice Chair
Amanda Carman – Sec*

*Heather Bay
Katie Dillion
Mitch Gregory*

*Author "AB" Harper
David Nollner
Cal Welch*

OCTOBER 13, 2025 | 7:00PM | TC COURTHOUSE

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting September 8, 2025

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

ELECTION OF OFFICERS

November 2025 – August 2026

NEW BUSINESS

SITE PLAN

- SITE Plan for two billboards on McMurry Blvd W (Map 019 Parcel 017.00) by Michael Sutherland-Scotty Outdoor LLC in the 7th Civil District.
- SITE Plan for 850 River Valley Dr. (Map 027G B Parcel 28.00) on 1.24 acres by Cody Joe Haynes & Trent Maasen for 9 town homes in the 7th Civil District.

PLAT AMENDMENT

- Update Phases 2 & 3 for Rockwall RV Park at 405 Hwy 25 (Map 029 Parcel 4.02) on 10 acres by Chris Barber in the 6th Civil District

PRELIMINARY PLAT

- Preliminary Plat of a Major Subdivision on Morrison St by Dennis Goke (Map 027 Parcel 003.12) of 6 lots in the 7th Civil District

DISCUSSION

- Review HTC Zoning Ordinance – Rick Gregory

REPORT FROM CHAIRMAN

REPORT FROM BUILDING OFFICIAL

CLOSING REMARKS

ADJOURN

**HARTSVILLE/TROUSDALE CO. PLANNING COMMISSION
MINUTES**

The Hartsville/Trousdale County Planning Commission met in regular session on Sept 8th at 7:00 pm, in the Trousdale County Courthouse.

CALL TO ORDER: 7:05 PM

ROLL CALL: Present: David Thomas, Amanda Carman, AB Harper, David Nollner, Cal Welch, Katie Dillon, Mitch Gregory, Rosalie Myhan, Amanda Harrington

Absent: John Kerr, Heather Bay

Public: Chelsea Anderson, Jim Carman, Craig Moreland, Rick Gregory

APPROVAL OF MINUTES

Regular Aug 11th Planning Commission Meeting

MOTION TO APPROVE: Amanda Carman, 2nd AB Harper MOTION PASSED

CHANGES TO THE AGENDA- none

REZONE

- **Rezone A1 to C1 of 5.72 acres at Hwy 10 (Map 020 Parcel 024.02) by Craig Moreland for development on Hwy 10 in District 3**

Craig Moreland was present to speak to the Rezoning Request. Mr. Moreland is working with the surveyor to build up the Pad to relocate his Business Office and equipment on the property. Discussion was made upon review of the Zoning map noting that there are several C1 properties along Hwy 10.

**MOTION TO SEND TO COUNTY COMMISSION WITH A FAVORABLE
RECOMMENDATION: Amanda Carman 2nd Cal Welch
MOTION PASSED**

- **Rezone A1 to R1 of 5 acres at 150 Greenwood Hollow Ln. (Map 012 Parcel 0200.00) by Earl Miller to Sub Divide to add 1 Residence**

Jim Carman represented Mr. Miller and stated that he is looking to Rezone to R1 in order to subdivide into 2 parcels to add 1 residence for his daughter.

**MOTION TO SEND TO COUNTY COMMISSION WITH A FAVORABLE
RECOMMENDATION: Cal Welch 2nd Katie Dillon
MOTION PASSED**

- **Rezone M1/R2 to R2 of (Map 027 Parcel 014.01) By Jeremy Barnes for Development also to Annex the County portion to Urban District.**

Chelsea Anderson, additional property owner with Jeremy Barnes spoke about Rezone the entire parcel to R2 instead of R2/M1 for development and to annex the M1 portion of the parcel into the Urban Service district. Sewer is available on Cemetery Rd and part of Herod Ln with a Fire Hydrant located on Cemetery LN.

**MOTION TO SEND TO COUNTY COMMISSION WITH A FAVORABLE
RECOMMENDATION: AB Harper 2nd Katie Dillon
MOTION PASSED**

PLAT

- **SKETCH PLAT: Dennis Goke has Requested for a Major Subdivision on Morrison Street of 5.75 +/- Acres (Map 027, Parcel 3.12)**

Jim Carman represented Mr. Goke in talking about Plat that has been brought before the Planning Commission. Mr. Carman stated that the R1 lots would be for single family residences. Rosalie Myhan spoke about the fire hydrant near the property and the need to consider the fire protection of the lots. There is a new pump house being installed near the lots.

MOTION TO APPROVE: Cal Welch, 2nd Katie Dillon vote 6 yes 1 no – David Nollner
MOTION PASSED

DISCUSSION

Rick Gregory spoke about the PUD and the combining of the Urban and General Services Ordinances. Mr. Gregory will return next month to review with Planning Commission.

MOTION TO POSTPONE: David Nollner 2nd Cal Welch
MOTION PASSED

REPORT FROM BUILDING OFFICIAL

Rosalie Myhan reported that Enbridge has pulled a Permit for the Solar Array. They have plans to break ground around the end of October.

CLOSING REMARKS

The Planning Commission asked to postpone the voting process so others who were absent have a chance to be here.

ADJOURN

MOTION TO ADJOURN: Cal Welch, 2nd Katie Dillon
MOTION PASSED

SITE PLANS



Planning/BZA Permit Application

Date: 09/08/2025

Permit #: 25305

Applicant / Owner

Applicant Name: Scotty outdoor LLC -Michael Sutherland
Address: P.O. box 687
City, State, Zip: Wrightsville Beach NC 28480
Phone: [REDACTED]
Email: [REDACTED]
Type: Contractor

Owner Name: Rhea Dalton
Address: Hwy 25
City, State, Zip: Hartsville, TN, 37074
Phone: [REDACTED]
Email: [REDACTED]

Project

Permit Type: Zoning - Planning / BZA
Status: Pending
Location:
Tax Map #: 019
Group: 0
Parcel: 017.00
Record/Deed: 0

Subdivision:
Phase:
Lot #:
Request Type: Site Plan
Water Source: Hartsville / Trousdale Water Dept.
Sewer / Septic: Sewer
Zoning District: C2

Project Description: Billboard Site Plan

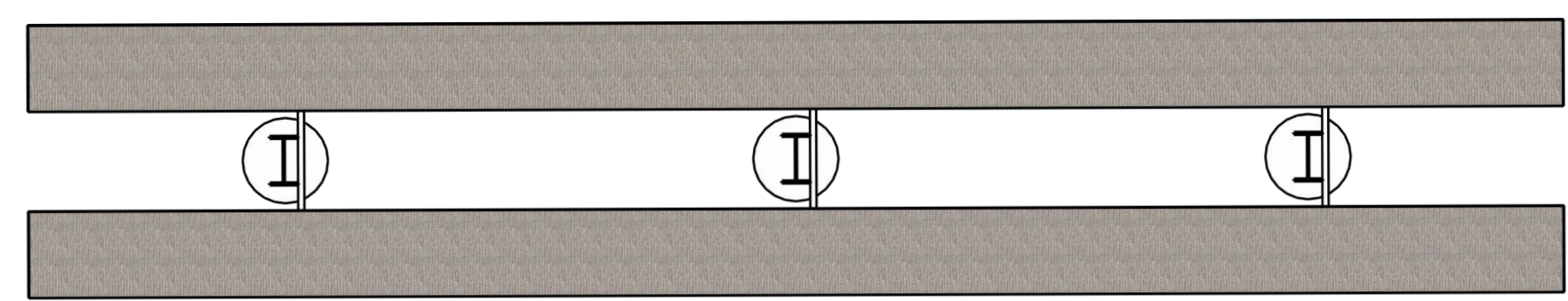
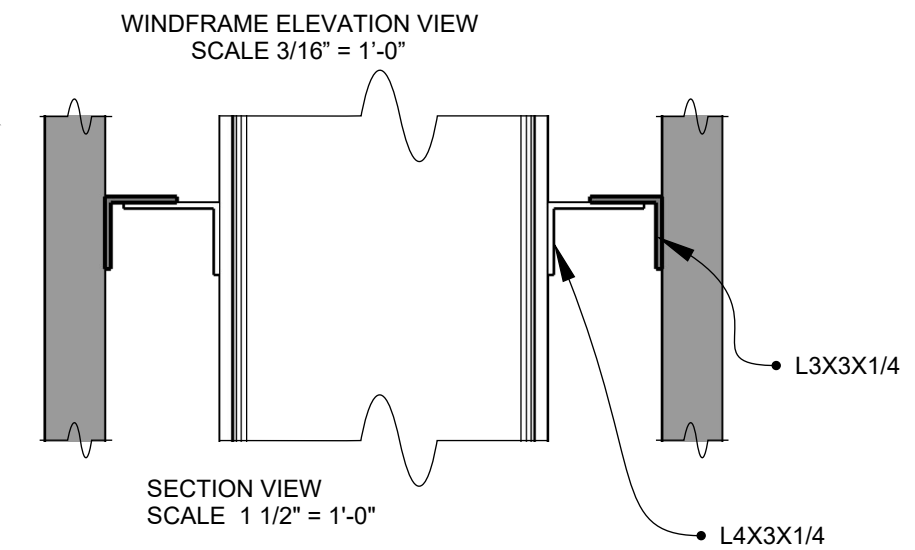
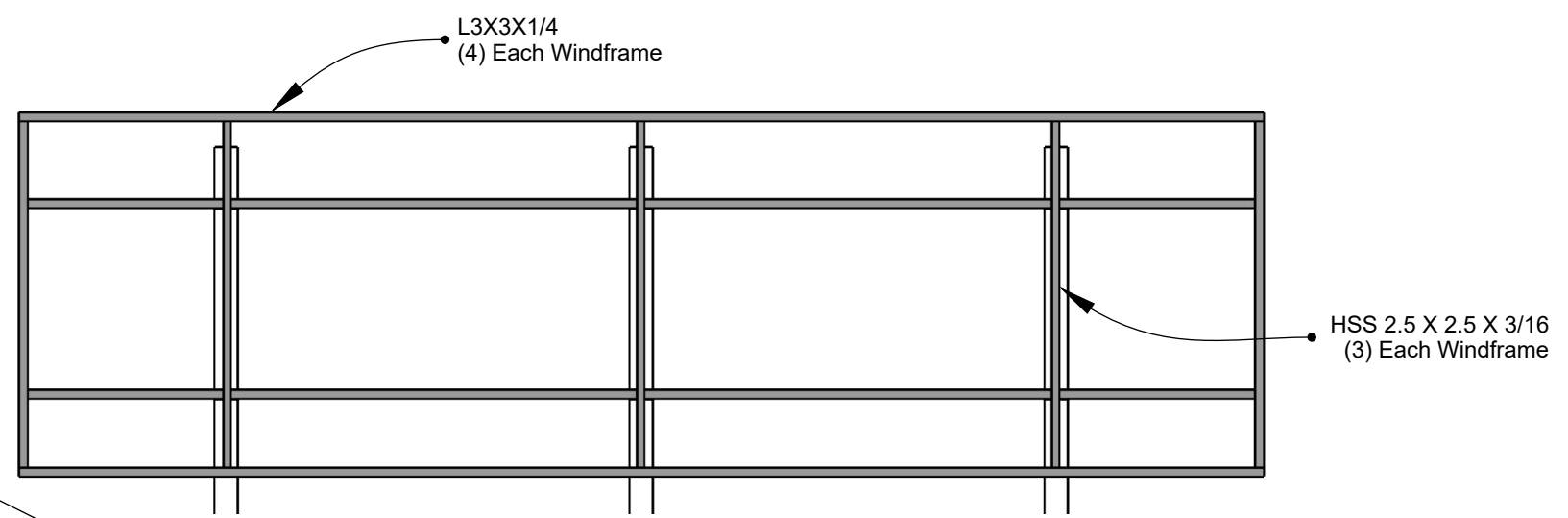
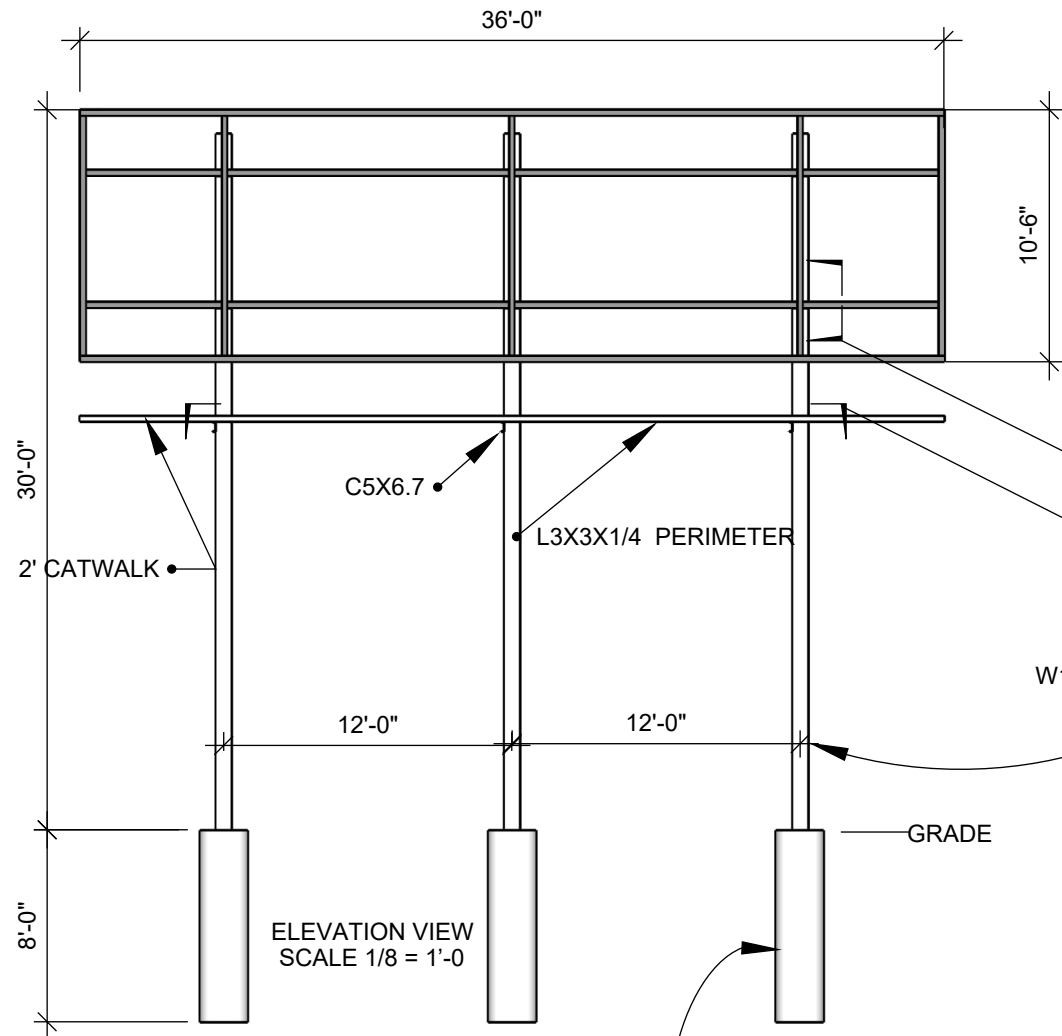
I do hereby certify that the information contained herein is true and correct.

[REDACTED]

Michael Sutherland

09/08/2025

Date

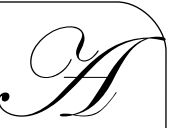
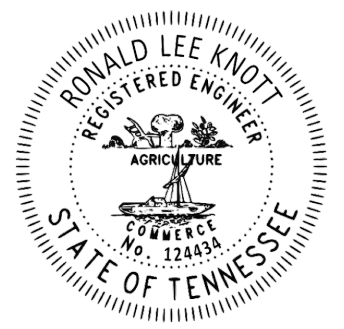


DESIGN CRITERIA
 LOCATION: 225-217 TN-10, Hartsville, TN 37074
 36.40167,-86.17002
 Elev 472'

MEANS OF COMPLIANCE
 Hartsville/Trousdale County Government
 Effective January 24, 2021
 International Building Code 2018
 ASCE 7-16
 RISK CATEGORY II
 WIND DESIGN
 VULT 105 mph
 VASD 85 mph
 WIND EXPOSURE CATEGORY C
 SEISMIC DESIGN
 SEISMIC IMPORTANCE FACTOR 1
 SOIL CLASS D
 SDS 0.24 g
 SD1 0.189 g
 SEISMIC DESIGN CATEGORY C
 SOIL BEARING CAPACITY 2500 psf

FLOOD ZONE - AREA OF MINIMAL FLOOD HAZARD
 NOTES:
 ALL WELDS 3/16 FILLET ALL-AROUND UNLESS NOTED
 CONCRETE 3000 PSI
 PIPES ARE 50 KSI MIN YIELD STRENGTH

REV	DATE	DESCRIPTION
0	5.20.25	ISSUE FOR CONSTRUCTION
1	5.25.25	Update Code of Record. Reduce ftg depth.



I-BEAM STEEL SIGN
 LOCATION
 225-217 TN-10
 Hartsville, TN 37074

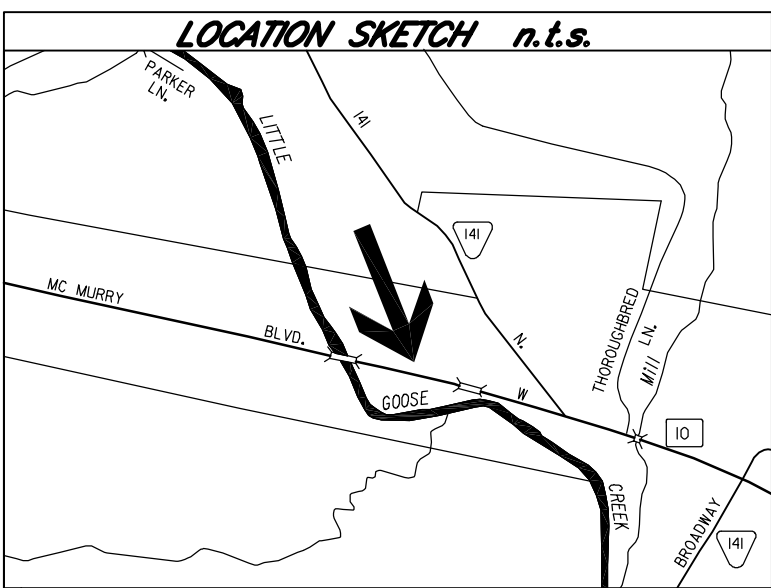
CLIENT
 Scotty Outdoor, LLC
 PO Box 974
 Snow Hill NC

REVISION
 1
 ISSUE
 5.25.25

DESCRIPTION
 Overall Views

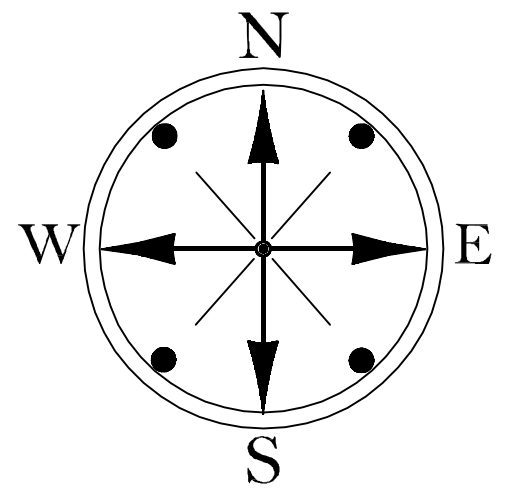
ENGINEER
 Ronald L Knott, P.E.
 801 Cricket Knoll Rd
 Fuquay Varina, NC 27526
 (919)417-1962

S
01

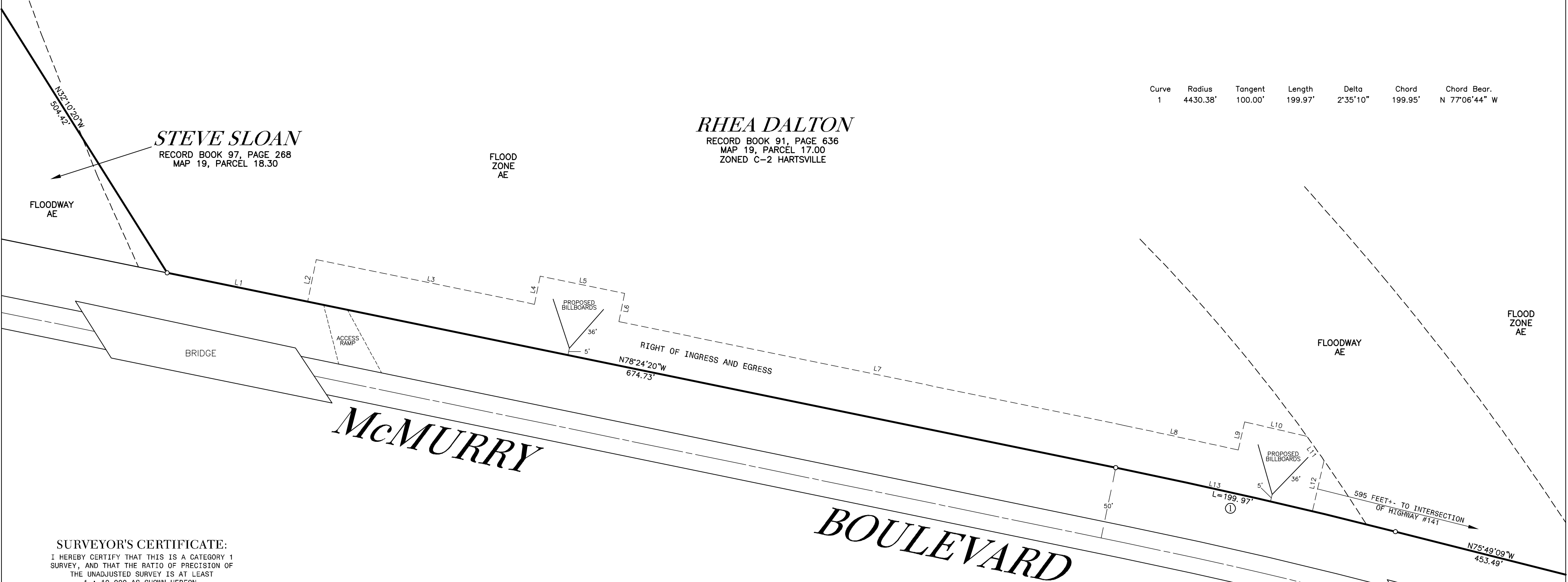


SITE PLAN FOR
RHEA DALTON
 LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

SCALE : 1" = 50'
 DATE : JULY 23, 2025
 DEED : R. B. 91, PG. 636, R.O.T.C.T.
 MAP : MAP 19, PAR. 17.00, T.A.O.T.C.T.



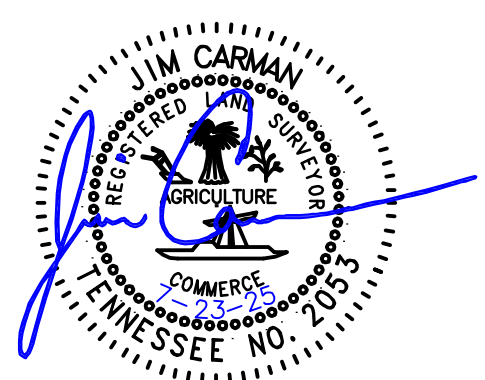
Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
1	4430.38'	100.00'	199.97'	2°35'10"	199.95'	N 77°06'44" W



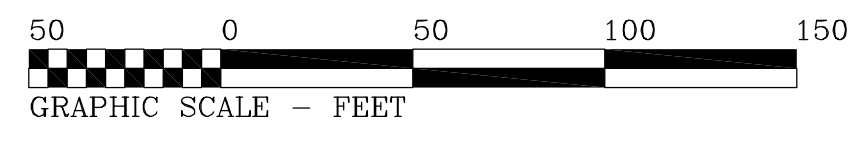
RHEA DALTON
 RECORD BOOK 91, PAGE 636
 MAP 19, PARCEL 17.00
 ZONED C-2 HARTSVILLE

STEVE SLOAN
 RECORD BOOK 97, PAGE 268
 MAP 19, PARCEL 18.30

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
 50 LINDA LANE
 HARTSVILLE, TENNESSEE
 PHONE: (615) 374-3344



Course	Bearing	Distance
L1	S 78°24'24" E	100.00'
L2	N 11°35'41" E	30.00'
L3	S 78°24'19" E	155.10'
L4	N 11°35'41" E	20.00'
L5	S 78°24'19" E	60.00'
L6	S 11°35'41" W	20.00'
L7	S 78°24'19" E	359.63'
L8	R= 4460.38' Tan: 40.56' Chd: S 77°53'03" E	L= 81.12' CA: 1°02'31" 81.12'
L9	N 13°01'20" E	20.00'
L10	S 76°58'40" E	44.58'
L11	S 35°21'37" E	20.62'
L12	S 13°01'20" W	36.30'
L13	R= 4430.38' Tan: 70.19' Chd: N 77°29'51" W	L= 140.38' CA: 1°48'55" 140.37'

Planning Staff Report
Amanda Harrington, Planning Advisor
October 2025

Item: 2 Billboards on McMurry Blvd.

Applicant: Michael Sutherland

Location: Tax Map 019. Parcel 017.00

Discussion:

The applicant, Michael Sutherland, has submitted a request to install two outdoor advertising billboards on property located along McMurry Boulevard (Tax Map 019, Parcel 017.00). The parcel is situated on a major road that provides regional access to the Town of Hartsville.

The site is currently zoned C-2 Highway Commercial, which permits certain types of on-premises and off-premises signage as Accessory use in the C-2 district, subject to the standards outlined in the Hartsville Zoning Ordinance.

A. In Any Zoning District, the Following General Regulations Shall Apply:

1. No sign shall be erected or maintained whereby reason of its position, wording, illumination, size, shape, or color it may obstruct, impair, obscure, interfere with the view of, or be confused with, any authorized traffic control sign, signal, device, or emergency vehicle.

Finding: The proposed placements are not close to any traffic signals in the immediate vicinity.

2. No illuminated sign shall be permitted within fifty (50) feet of property in any residential district, unless the illumination of such sign is so designed that it does not shine or reflect light onto adjoining property.

Finding: This requirement has been met.

3. No billboard or ground sign shall be erected to exceed the maximum height limitation for the district in which it is located, not exceeding four hundred (400) square feet in area. No billboard shall exceed fifty (50) feet in length, and no double stacking of billboards is allowed, except by special review by the Board of Zoning Appeals. The bottom coping of every ground sign shall be at least three (3) feet above the ground or street level.

Finding: The billboards are compliant in size. These billboards are in an area of Special Flood Hazard AE.

4. Billboards and other similar outdoor advertising structures shall be erected or placed in conformity with the side, front, and rear yard requirements of the district in which

it is located. However, no billboard shall be erected or placed closer than within one hundred (100) feet of any residential district.

Finding: This requirement has been met.

5. On the premises, outdoor advertising signs, including flashing or intermittent illumination, shall not intrude upon the public right-of-way.

Finding: This sign is not an on-premises sign.

6. Signs erected and overhanging any sidewalk must be placed at least nine (9) feet above the sidewalk and may extend over the sidewalk a distance equal to two-thirds (2/3) the width of the sidewalk, but in no case exceeding ten (10) feet.

Finding: These billboards do not appear to be located near any sidewalks.

7. Professional signs and signs for home occupations shall not exceed four (4) square feet in area in the residential districts.

Finding: These billboards are not intended to advertise for home occupations.

In All Commercial Districts, the Following Regulations Shall Apply:

1. Business signs shall be coordinated with the architecture and surroundings in such a manner that the overall appearance is harmonious in color, form, and proportion. The display of signs will be appropriate to the land, building, or use to which they are appurtenant and be adequate, but not excessive, for the intended purpose of identification.

Finding: Insufficient information has been provided by the applicant to render an opinion on this requirement.

2. Bulletin boards or identification signs, not exceeding sixty-four (64) square feet in area, shall not be permitted for public recreational uses, community facilities, hospitals, and clinics.

Finding: This requirement is not applicable.

3. One business sign directly relating to the activity conducted on the premises, not exceeding sixty-four (64) square feet and fifteen (15) feet in height. However, in the cases of freestanding signs with two (2) faces, each face may not be more than sixty-four (64) square feet.

Finding: These signs are not on-premises signs.

4. Not more than one (1) freestanding sign shall be established for each separate lot, regardless of how many businesses or commercial entities are located on such lot; provided, however, that lots on public streets or highways with frontages of more than five hundred (500) feet of frontage may erect one (1) sign on each such route for each five hundred (500) feet of frontage. For corner lots, one (1) sign may be erected on the frontage of each public street or highway unless the five hundred (500) foot provision

applies. No individual sign shall have an area of more than sixty-four (64) square feet; provided, however, that in case of freestanding signs with two (2) faces, each face may not be more than sixty-four (64) square feet.

Finding: Requirement has been satisfied.

5. Signs affixed to building walls shall not total more than thirty-two (32) square feet on any one building wall.

Finding: Not applicable to this application.

6. All ground sign supports shall be located no closer than ten (10) feet from any public right-of-way or property line; no part of the sign face may be closer than five (5) feet from any public right-of-way or property line.

Finding: this requirement has been met.

7. Billboards and other outdoor advertising structures are permitted subject to the general restrictions set forth in Subsection A, above.
8. Traffic or directional signs are excluded from this subsection if restricted to traffic flow or parking information, and if less than four (4) square feet in surface area per face.

Finding: Not applicable to this application.

**** END COMMENTS ****



Planning/BZA Permit Application

Date: 09/18/2025
Permit #: 25313

Applicant / Owner

Applicant Name: Cody Joe Haynes /Trent
Maasen
Address: 738 N Cumberland St.
City, State, Zip: Lebanon, TN, 37087
Phone: [REDACTED]
Email: [REDACTED]
Type: Property Owner

Owner Name: Cody Joe Haynes /Trent
Massen
Address: 850 River Valley DR.
City, State, Zip: Hartsville, TN, 37074
Phone: [REDACTED]
Email: [REDACTED]

Project

Permit Type: Zoning - Planning / BZA
Status: Pending
Location: 850 RIVER VALLEY DR.
Tax Map #: 027G
Group: B
Parcel: 028.00
Record/Deed: RB186/216

Subdivision: BATTLEFIELD SUB.
Phase:
Lot #: 11
Request Type: Site Plan
Water Source: Hartsville / Trousdale Water
Dept.
Sewer / Septic: Sewer
Zoning District: R3

Project Description: SITE PLAN FOR 9 TOWNHOMES

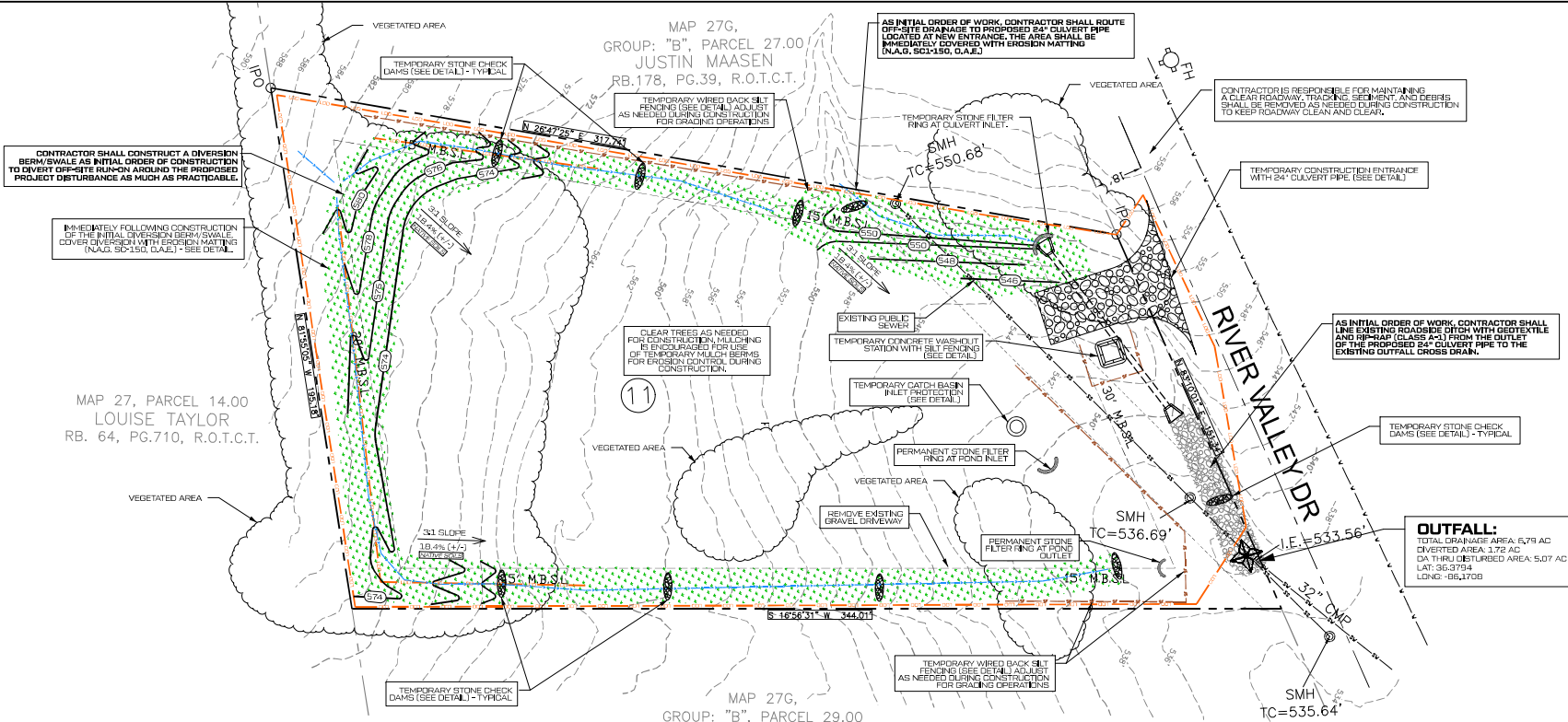
I do hereby certify that the information contained herein is true and correct.

[REDACTED]

CODY JOE HAYNES / TRENT MASSEN

09/18/2025

Date



SITE NOTES

- 1.) THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH PROPER AGENCIES.
- 2.) ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF HARTSVILLE, TROUSDALE COUNTY, AND THE RESPECTIVE UTILITIES.
- 3.) EXISTING UTILITY LOCATIONS ARE APPROXIMATE ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION ACTIVITIES.
- 4.) THE CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER WORK AT THE SITE.
- 5.) THE CONTRACTOR SHALL COMPLETELY AND PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM DEMOLITION/CONSTRUCTION ACTIVITIES ON THE SITE. ALL MATERIALS SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE TO ALL APPLICABLE LAWS AND REGULATIONS.
- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL FOR THE SITE. EROSION CONTROL MEASURES TO INCLUDE SILT FENCES AND INLET PROTECTION WHERE WATER DRAINS OFF-DISTURBED AREAS.
- 8.) THE CONTRACTOR SHALL GIVE ALL NOTICES AND OBTAIN ALL NECESSARY PERMITS.
- 9.) IN EASEMENTS, CONTRACTOR SHALL PROTECT AND RESTORE PROPERTY TO CONDITIONS SIMILAR OR EQUAL TO THAT EXISTING PRIOR TO CONSTRUCTION.
- 10.) DRAINAGE EASEMENTS OUTSIDE DEDICATED ROW'S ARE NOT THE RESPONSIBILITY OF HARTSVILLE, TROUSDALE COUNTY.
- 11.) THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY ASCE OF AMERICA, INC. AND "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- 12.) IT IS THE LAW IN TENNESSEE TO CONTACT TENNESSEE ONE CALL BEFORE DIGGING PHONE 1-800-351-1111 OR 1-615-366-1987.
- 13.) A REPORT OF GEOTECHNICAL EXPLORATION IS NOT AVAILABLE OR HAS NOT BEEN SUBMITTED FOR THE SUBJECT PROPERTY.

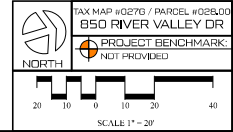
EROSION CONTROL NOTES:

- 1.) NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES.
- 2.) TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6". THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNERS REPRESENTATIVE.
- 3.) ALL GRADED AREAS INCLUDING SLOPES ARE TO BE SEEDED AND STRAWED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETED.
- 4.) CUT AND FILL SLOPES ARE TO BE 3:1 OR AS DESIGNATED BY THE ENGINEER.
- 5.) ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE ENGINEER.
- 6.) WHEN THE TEMPORARY SOIL EROSION DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE, IN THE OPINION OF THE ENGINEER, THEY SHALL BE REMOVED.
- 7.) STRAW MATTING SHALL BE USED ON SLOPES AND DRAINAGE AREAS AS DIRECTED BY ENGINEER.
- 8.) EROSION CONTROL MEASURES ARE TO BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
- 9.) FILL SHALL BE ROCK OR SOIL ONLY, PLACED IN LIFTS OF 3' OR LESS FOR SOIL AND 2' OR LESS FOR ROCK, AND COMPACTED TO 95% STD. PROCTOR.
- 10.) THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER RAINFALL EVENTS AND REPLACE/REINSTALL AS NEEDED.
- 11.) PRIOR TO THE START OF SITE EXCAVATION OPERATIONS, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE FOR INSPECTION AND/OR APPROVAL BY THE WILSON COUNTY.
- 12.) ANY SLOPES 3:1 AND / OR GREATER SHALL REQUIRE EROSION CONTROL MATTING.
- 13.) STABILIZATION MUST BE COMPLETED WITHIN 14 DAYS ON PORTIONS OF SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

GENERAL NOTES:

- 1.) EXISTING UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. ALSO, THIS PLAN DOES NOT VERIFY THAT ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WHICH MAY BE AFFECTED BY NEW CONSTRUCTION. THE CONTRACTOR SHALL USE WHATEVER METHOD OR MEANS HE DETERMINES IS NECESSARY TO LOCATE SAID UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE IF THERE ARE ANY AVAILABLE RECORDS SHOWING EXACT UTILITY LOCATIONS AS WELL AS ADDITIONAL UTILITIES NOT SHOWN ON THIS PLAN. IN THE EVENT OF ENCOUNTERING UTILITIES NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND OR THE ENGINEER IMMEDIATELY FOR DIRECTIONS.
- 2.) NO SURVEYS OR INSPECTIONS HAVE BEEN CONDUCTED REGARDING THE EXISTENCE OF HAZARDOUS MATERIALS ON THE SITE. IN THE EVENT THAT SUSPECT MATERIALS ARE ENCOUNTERED THAT MAY REQUIRE SPECIAL HANDLING, THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND/OR THE ENGINEER IMMEDIATELY TO DETERMINE PROPER HANDLING TECHNIQUES FOR SUCH MATERIALS.
- 3.) THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND INVERTS OF ALL EXISTING UTILITY LINES AND STRUCTURES BEFORE THE COMMENCEMENT OF CONSTRUCTION.
- 4.) IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTICED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- 5.) ANY DAMAGE TO EXISTING ASPHALT SURFACE OR CONCRETE CURBS RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED BY LIKE MATERIALS AT THE CONTRACTORS EXPENSE.

PERMIT REVIEW SET SUBJECT TO REVISION
 NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET FOR THE SITE CONSTRUCTION. IT IS NOT THE ENGINEERS INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET FULLY DETAILS ALL WORK ASSOCIATED WITH THE PROJECT.



RESERVED FOR REVIEWING AGENCY



EXISTING SITE CONDITIONS & EROSION CONTROL PLAN
PROPOSED RESIDENTIAL SITE PLANS
 HAYNES PROPERTY - BATTLEFIELD SUBD.
 850 RIVER VALLEY DRIVE
 HARTSVILLE, TROUSDALE COUNTY, TENNESSEE

The drawing and site design shown on the project of this Warren & Tugle, Inc. drawing is the property of Warren & Tugle, Inc. and shall not be used for any other project without the written approval of the owner. Warren & Tugle, Inc. Engineering, 3408 Parkwood Parkway, Nashville, TN 37214. All drawings are subject to local ordinances.

DATE	DESCRIPTION	BY	DATE

DRAWN BY **RLW**

CHECKED BY **RKT**

DATE **SEPTEMBER 2025**

C1.00

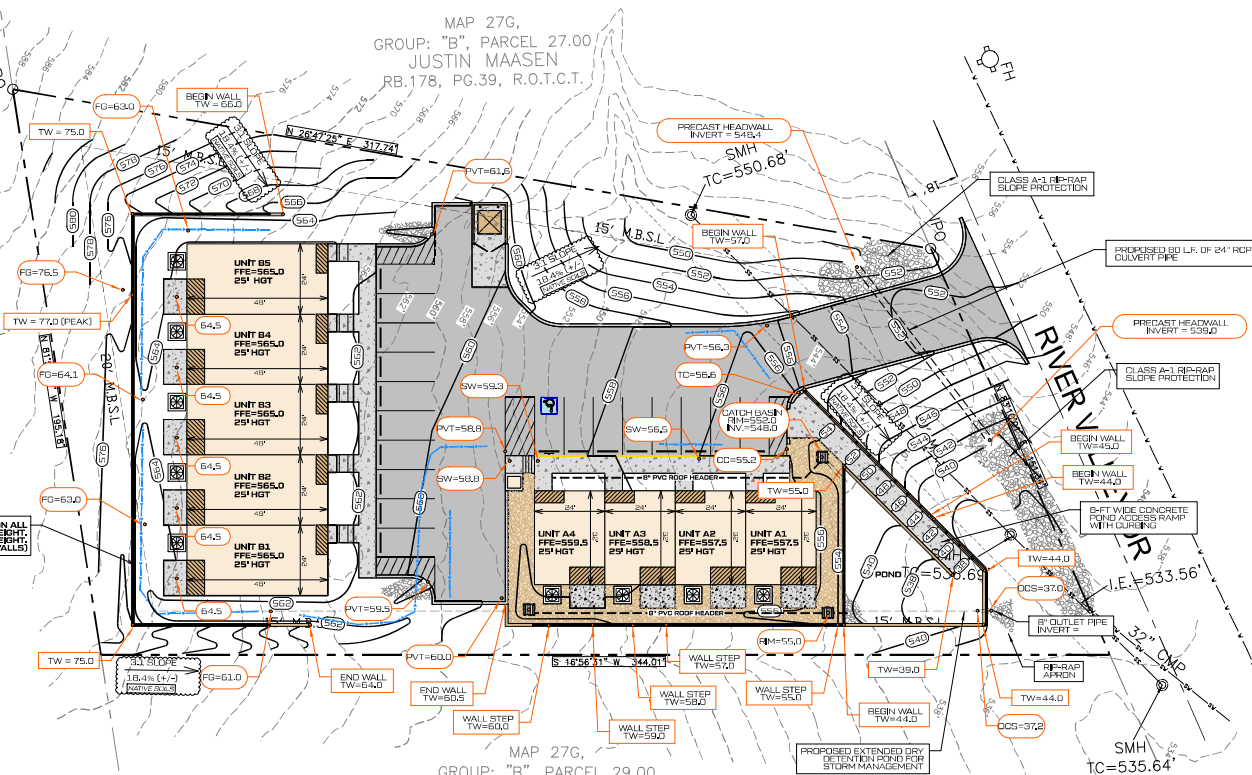
FILE NO. **295-25**

MAP 27G,
GROUP: "B", PARCEL 27.00
JUSTIN MAASEN
RB.178, PG.39, R.O.T.C.T.

MAP 27, PARCEL 14.00
LOUISE TAYLOR
RB. 64, PG.710, R.O.T.C.T.

MAP 27G,
GROUP: "B", PARCEL 29.00
JOHNNY YOUNG
RB.27, PG.44, R.O.T.C.T.

PROVIDE & INSTALL GUARD RAILING ON ALL
RETAINING WALLS THAT EXCEED 30" IN HEIGHT.
GUARD RAIL SHALL BE 42" MINIMUM IN HEIGHT
(TYPICAL ALL WALLS)



GRADING NOTES

- 1) GRADING ACTIVITIES SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR ALL CUT, FILL, AND RELATED EARTHWORK.
- 2) ALL GRADING ACTIVITIES SHALL BE COORDINATED WITH ALL OTHER WORK AT THE SITE.
- 3) ALL PROPOSED GRADES SHOWN ON THIS PLAN ARE INTENDED TO REFLECT FINISHED GRADES, TOP OF PAVEMENT, CURB, OR OTHERWISE NOTED ON THE PLAN.
- 4) ALL GRADING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MDS&P AND SHALL NOT COMMENCE UNTIL A NOTICE OF COVERAGE IS OBTAINED FOR THE WORK, REFER TO THE RESPECTIVE SWPPP/EPSC PLANS AND DOCUMENTS FOR FURTHER GUIDANCE.
- 5) IF ANY UNDERGROUND SPRINGS OR STREAMS ARE DISCOVERED DURING CONSTRUCTION, ADDITIONAL DRAINAGE MEASURES MAY BE REQUIRED. THESE FEATURES SHALL BE SPOTIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE ENCOUNTERED CONDITIONS. CONTACT THE CITY OF LEBANON STORMWATER DEPARTMENT AND DESIGN ENGINEER IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION OF DETENTION BASIN / POND.
- 6) REINFORCED CONCRETE PIPE (RCP) FOR STORM INFRASTRUCTURE SHALL BE CLASS III TYPE, AND CORRUGATED METAL PIPE SHALL BE 14 GAUGE UNLESS OTHERWISE NOTED ON THE PLANS.
- 7) THE GRADING AND DRAINAGE PLAN DOES NOT GUARANTEE THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK (DEFLECT, INVESTIGATION AND DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR).
- 8) THE PROPOSED GRADING PLAN CONSISTS OF PROPOSED CONTOUR LINES AND SPOT ELEVATIONS. THESE PROPOSED ELEMENTS REFLECT AN OVERALL PLANNED INTENT FOR THE SURFACE DRAINAGE AND MOVEMENT OF EARTHWORK. IF THE CONTRACTOR HAS ANY QUESTIONS OF THE PROPOSED INTENT OR ENCOUNTERS ANY ISSUES WITH THE GRADING, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY BEFORE CONTINUING WITH THE WORK.

SPOT ELEVATION LEGEND:

- PVT = PROPOSED PAVEMENT
- T/C = PROPOSED TOP OF CURB
- SW = PROPOSED SIDEWALK
- FLUSH = SIDEWALK / PAVEMENT FLUSH
- FG = FINISHED GRADE
- ME = MATCH EXISTING GRADE
- TW = PROPOSED TOP OF WALL
- BW = PROPOSED FINISHED GRADE @ BOTTOM OF WALL

RETAINING WALL NOTES

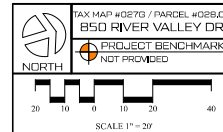
- 1) RETAINING WALLS TO BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN THE STATE OF TENNESSEE.
- 2) ALL RETAINING WALLS THAT ARE 30-INCHES OR TALLER FROM ADJACENT FINISHED GRADE SHALL HAVE A GUARD RAIL INSTALLED. THE GUARD RAILING SHALL BE A MINIMUM OF 42-INCHES IN HEIGHT AND PROPERLY SECURED/ANCHORED TO THE TOP OF THE WALL.
- 3) THE PROPOSED SITE DESIGN IS BASED ON THE FINAL / STABLE STATE. ALL CONSTRUCTION AND TEMPORARY BRACING SHALL BE DETERMINED BY THE CONTRACTOR AS MEANS AND METHODS TO ACHIEVE THE INTENDED FINAL AND STABLE CONDITIONS.

**PERMIT REVIEW SET
SUBJECT TO REVISION**

NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THE PLAN SET FOR THE SITE CONSTRUCTION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THE SET FULLY DEFINE ALL WORK ASSOCIATED WITH THIS PROJECT.



Know what's below
Call before you dig.



RESERVED FOR REVIEWING AGENCY



PROPOSED GRADING & DRAINAGE PLAN
PROPOSED RESIDENTIAL SITE PLANS
HAYNES PROPERTY - BATTLEFIELD SUBD.
850 RIVER VALLEY DRIVE
HARTTSVILLE, TROUSDALE COUNTY, TENNESSEE

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DATE	SCALE	REVISION

DRAWN BY **RLW**

CHECKED BY **RKT**

DATE **SEPTEMBER 2025**

C3.00

FILE NO. **295-25**

UTILITY PROVIDERS:

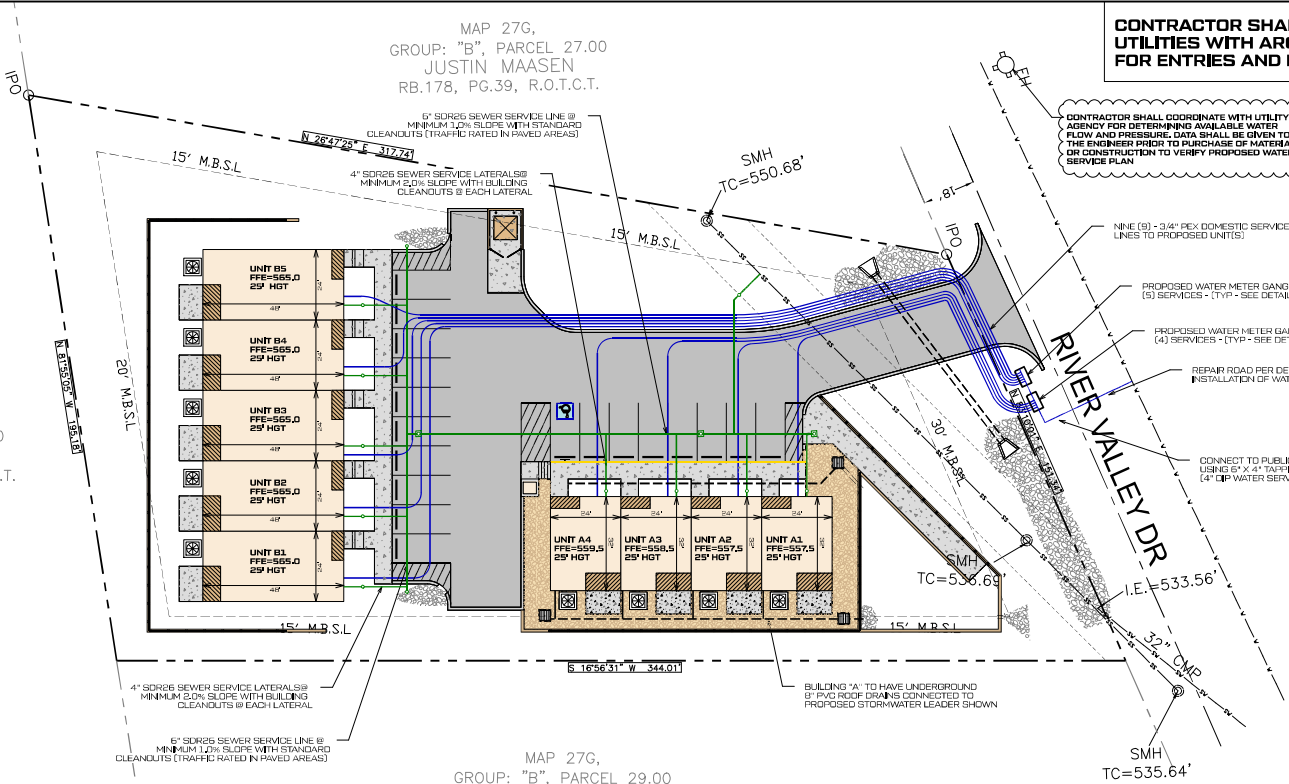
ELECTRIC:
 TIBB COUNTY ELECTRIC
 MEMBERSHIP
 CORPORATION
 301 BROADWAY, POST
 OFFICE BOX 67
 HARTSVILLE, TN - 37074
 PHONE: (615) 374-2996

WATER/SEWER:
 HARTSVILLE-TRIOUSDALE CO.
 WATER/SEWER
 328 BROADWAY,
 POST OFFICE BOX 66
 HARTSVILLE, TN - 37074
 PHONE: (615) 374-3494
 CONTACT: TOMMY McFERRIN,
 GENERAL MANAGER

GAS:
 Piedmont Natural Gas
 POST OFFICE BOX 533500
 ATLANTA, GA - 30352
 PHONE: 1-800-752-7504

MAP 27, PARCEL 14.00
 LOUISE TAYLOR
 RB. 64, PG.710, R.O.T.C.T.

MAP 27G,
 GROUP: "B", PARCEL 27.00
 JUSTIN MAASEN
 RB.178, PG.39, R.O.T.C.T.



CONTRACTOR SHALL COORDINATE ALL UTILITIES WITH ARCHITECTURAL PLANS FOR ENTRIES AND DEPTHS

CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCY FOR DETERMINING AVAILABLE WATER FLOW AND PRESSURE. DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO PURCHASE OF MATERIALS OR CONSTRUCTION TO VERIFY PROPOSED WATER SERVICE PLAN

NINE (9) - 3/4" PEX DOMESTIC SERVICE LINES TO PROPOSED UNITS

PROPOSED WATER METER GANG BOX (5) SERVICES - (TYP - SEE DETAIL)

PROPOSED WATER METER GANG BOX (4) SERVICES - (TYP - SEE DETAIL)

REPAIR ROAD PER DETAIL POST INSTALLATION OF WATER SERVICE(S)

CONNECT TO PUBLIC WATER MAIN USING 6" X 4" TAPPING SLEEVE/ VALVE (4" CP WATER SERVICE LINE TO GANG VAULTS)

BUILDING 'A' TO HAVE UNDERGROUND 8" PVC ROOF DRAINS CONNECTED TO PROPOSED STORM-WATER LEADER SHOWN

SITE NOTES

- 1) THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH PROPER AGENCIES.
- 2) ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF METROPOLITAN HARTSVILLE, AND THE RESPECTIVE UTILITIES.
- 3) EXISTING UTILITY LOCATIONS ARE APPROXIMATE ON THIS PLAN, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION ACTIVITIES.
- 4) THE CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER WORK AT THE SITE.
- 5) THE CONTRACTOR SHALL COMPLETELY AND PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM DEMOLITION/CONSTRUCTION ACTIVITIES ON THE SITE. ALL MATERIALS SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE TO ALL APPLICABLE LAWS AND REGULATIONS.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST.
- 7) THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL FOR THE SITE. EROSION CONTROL MEASURES TO INCLUDE SILT FENCES AND INLET PROTECTION WHERE WATER DRAINS OFF DISTURBED AREAS.
- 8) THE CONTRACTOR SHALL GIVE ALL NOTICES AND OBTAIN ALL NECESSARY PERMITS.
- 9) IN EASEMENTS, CONTRACTOR SHALL PROTECT AND RESTORE PROPERTY TO CONDITIONS SIMILAR OR EQUAL TO THAT EXISTING PRIOR TO CONSTRUCTION.
- 10) DRAINAGE EASEMENTS OUTSIDE DEDICATED ROW'S ARE NOT THE RESPONSIBILITY OF TRIOUSDALE COUNTY OR METROPOLITAN HARTSVILLE.
- 11) THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- 12) IT IS THE LAW IN TENNESSEE TO CONTACT TENNESSEE ONE CALL BEFORE DIGGING PHONE: 1-800-368-5811 OR 1-833-836-8877.
- 13) A REPORT OF GEOTECHNICAL EXPLORATION IS NOT AVAILABLE OR HAS NOT BEEN SUBMITTED FOR THE SUBJECT PROPERTY.

UTILITY NOTES

- 1) GAS SERVICE IS NOT PROPOSED FOR THIS SITE
- 2) ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF METROPOLITAN HARTSVILLE.
- 3) ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF METROPOLITAN HARTSVILLE.
- 4) THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND INVERTS OF ALL EXISTING UTILITY LINES AND STRUCTURES BEFORE THE COMMENCEMENT OF CONSTRUCTION.
- 5) ALL SANITARY SEWER SERVICE LINES SHALL BE TEE CONNECTIONS AND MAINTAIN A MINIMUM 1% SLOPE.
- 6) SEWER SERVICE LINE CLEAN-OUT ASSEMBLY SHALL BE INSTALLED ACCORDING TO THE SPECIFICATIONS OF METRO HARTSVILLE.
- 7) WATER METERS SHALL BE NO DEEPER THAN 24" FROM TOP OF METER TO PROPOSED FINISHED GRADE.
- 8) THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.
- 9) ALL HIKES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SURFACE WITH CONTRACTED CRUSHED STONE.
- 10) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AS-BUILTS DRAWINGS OF REQUIRED INFORMATION TO THE CITY OF LEBANON IN THE PROPER FORMAT.
- 11) REFER TO DETAIL ED ARCHITECTURAL AND ELECTRICAL PLANS FOR LIGHTING PLANS, PHOTOMETRIC PLANS TO BE PROVIDED WITH DETAILED BUILDING PLANS.

GENERAL NOTES

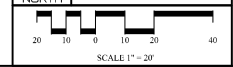
- 1) IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 2) ANY DAMAGE TO EXISTING ASPHALT SURFACE OR CONCRETE CURB RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED BY LIKE MATERIALS AT THE CONTRACTORS EXPENSE.
- 3) ALL DIMENSIONS ARE MEASURED TO FACE OF CURB.
- 4) DRAINAGE EASEMENTS OUTSIDE DEDICATED ROW'S ARE NOT THE RESPONSIBILITY OF TRIOUSDALE COUNTY OR METROPOLITAN.
- 5) THE PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARDOUS AREA AS SHOWN ON COMMUNITY FLOOD MAP NO. 47189C00430 EFFECTIVE DATE 9/29/2010.
- 6) WHEN A NATURAL DRAINAGE CHANNEL (OR SINK HOLE/DEPRESSION) EXISTS ON THE PROPERTY, SUFFICIENT DATA MUST BE PROVIDED TO SHOW THAT ANY DISTURBANCE OF THE NATURAL DRAINAGE CHANNEL (OR SINK HOLE/ DEPRESSION) CAN BE ACCOMPLISHED WITH A MINIMAL IMPACT ON THE PERFORMANCE OF THE STORM WATER DRAINAGE SYSTEM IN THE AREA. REFER TO GEOTECHNICAL INFORMATION REGARDING THE SUBJECT PROPERTY FOR ADDITIONAL INFORMATION. THE ENGINEER ASSUMES NO LIABILITY FOR GEOTECHNICAL INFORMATION PROVIDED AND/OR SURFACE CONDITIONS AT THE SITE.
- 7) ALL PAVEMENT STRIPES SHALL BE FOUR (4) INCHES WIDE SAFFER WHITE, PAINTED PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH TDD STANDARD SPECIFICATIONS.

PERMIT REVIEW SET SUBJECT TO REVISION

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TAX MAP #027G / PARCEL #026J00
 850 RIVER VALLEY DR
 PROJECT BENCHMARK:
 NOT PROVIDED



RESERVED FOR REVIEWING AGENCY



PROPOSED SITE UTILITY PLAN
 PROPOSED RESIDENTIAL SITE PLANS
 HAYNES PROPERTY - BATTLEFIELD SUBD.
 850 RIVER VALLEY DRIVE
 HARTSVILLE, TRIOUSDALE COUNTY, TENNESSEE

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DATE	ISSUE	REVISION

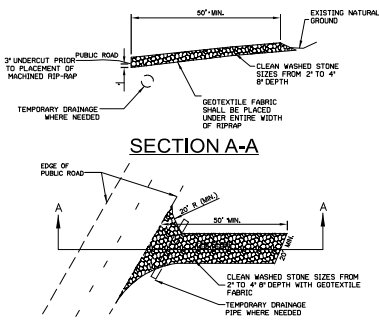
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CHECKED BY: **AKT**

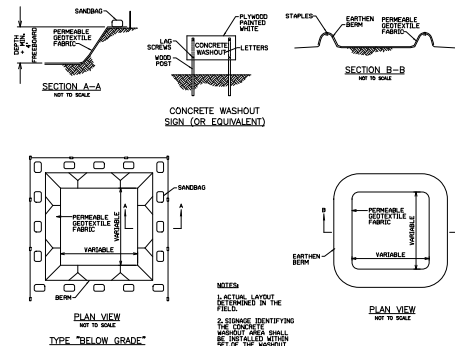
DATE: **SEPTEMBER 2025**

C5.00

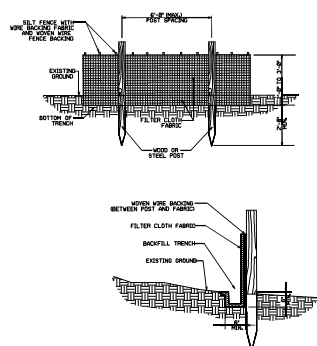
FILE NO. **295-25**



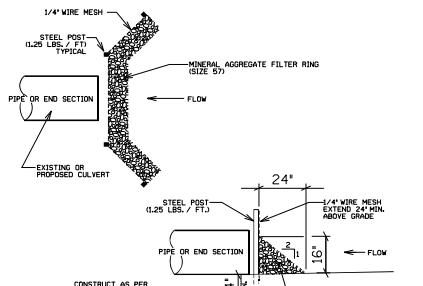
TEMPORARY CONSTRUCTION ENTRANCE
N.T.S. - TO BE CONSTRUCTED AS PER TDEC BMP# 7.2B



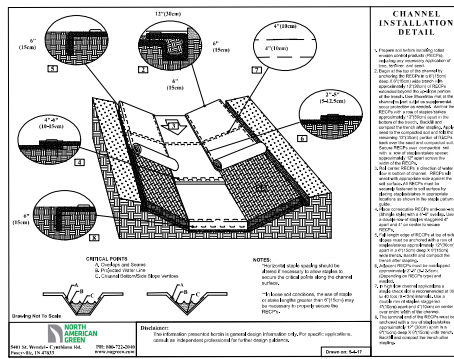
CONCRETE WASHOUT DETAIL
N.T.S. - TO BE CONSTRUCTED AS PER TDEC BMP# 7.2B



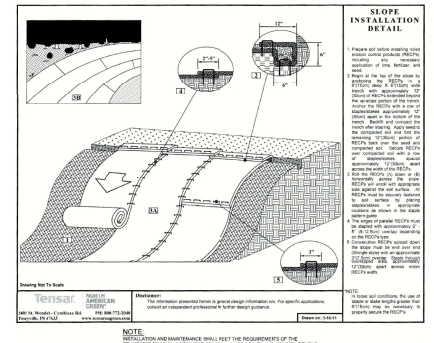
WIRED BACK SILT FENCE DETAIL
N.T.S.



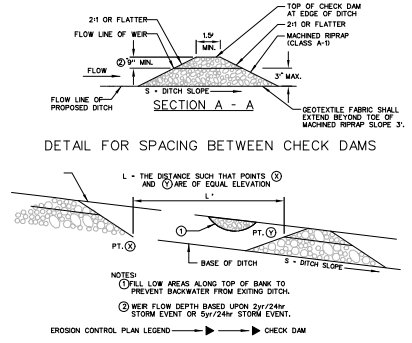
CULVERT INLET PROTECTION
(TYPE FOR HEADWALL TYPE INLETS) N.T.S.



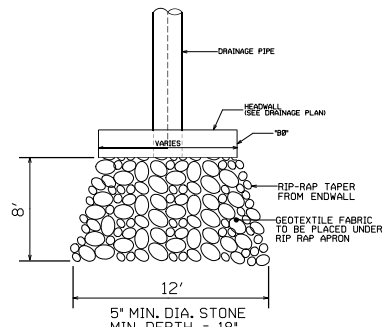
EROSION CONTROL BLANKET DETAIL (OPEN CHANNEL APPLICATION)
USE: SC-150 (O.A.E.)



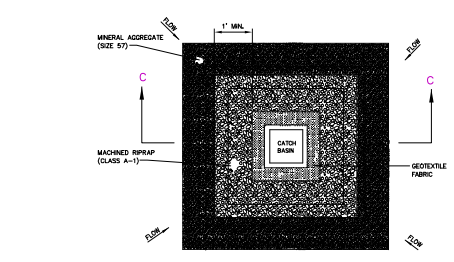
EROSION CONTROL MATTING FOR SLOPES
USE: SC-150 (O.A.E.)



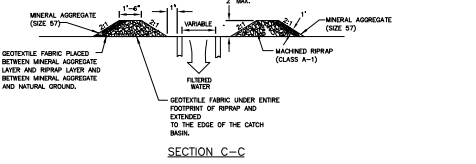
CHECK DAM DETAIL
N.T.S. - TO BE CONSTRUCTED AS PER TDEC BMP #7.2B



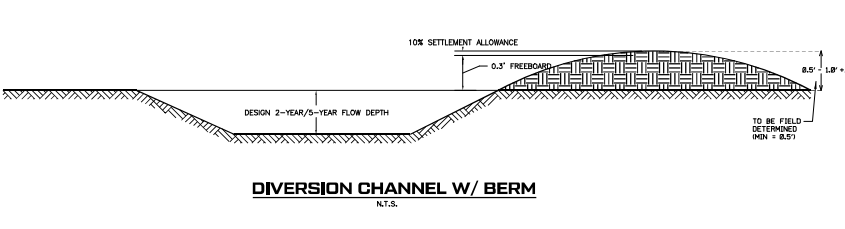
RIP-RAP APRON DETAIL
N.T.S.



CATCH BASIN INLET PROTECTION DETAIL
N.T.S.



SECTION C-C



DIVERSION CHANNEL W/ BERM
N.T.S.

PERMIT REVIEW SET SUBJECT TO REVISION
NOTE TO CONTRACTOR: THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET FOR THE SITE CONSTRUCTION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN CROSSED BY THIS SET FULLY DEPICTS ALL WORK ASSOCIATED WITH THIS PROJECT.

811
Know what's below
Call before you dig.

NORTH
TAX MAP #087C / PARCEL #088.00
850 RIVER VALLEY DR
PROJECT BENCHMARK:
NOT PROVIDED
RESERVED FOR REVIEWING AGENCY
N.T.S

TW WARREN & TUGGLE
CIVIL ENGINEERING
1328 PINEAPPLE DRIVE, HARTSVILLE, TN 37057
TEL: 615.241.1111 FAX: 615.241.1112



CIVIL DETAILS
PROPOSED RESIDENTIAL SITE PLANS
HAYNES PROPERTY - BATTLEFIELD SUBD.
850 RIVER VALLEY DRIVE
HARTSVILLE, TROUSDALE COUNTY, TENNESSEE

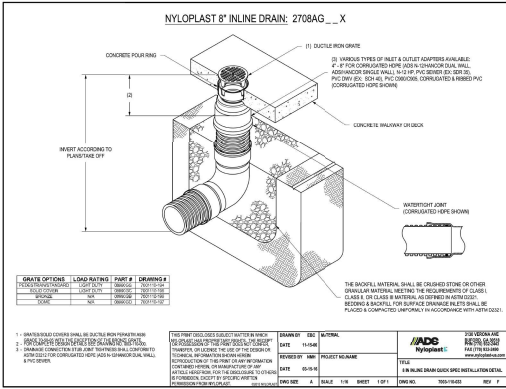
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DATE	REVISION	BY	REASON

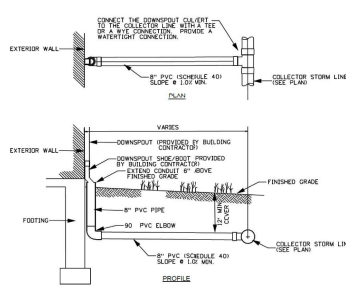
DRAWN BY **RLW**
CHECKED BY **AKT**

DATE **SEPTEMBER 2025**

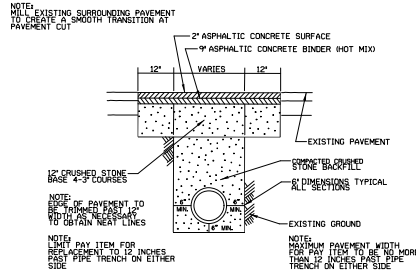
C6.00
FILE NO. 295-25



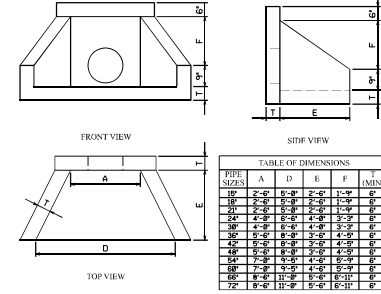
ROOF COLLECTION IN-LINE DRAIN BASIN
N.T.S.



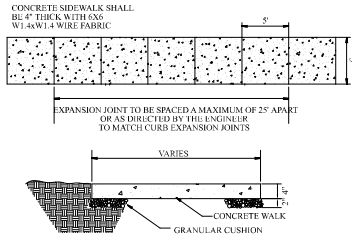
TYPICAL ROOF DRAIN DETAIL



PAVEMENT REPAIR DETAIL
N.T.S.

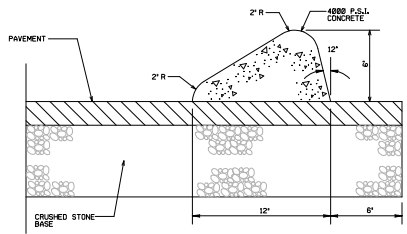


CONCRETE HEADWALL TYPE B
N.T.S.

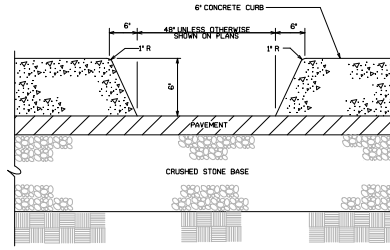


1. SURFACE TEXTURE SHALL BE A LIGHT BRIDGING, TRANSVERSE TO LENGTH OF WALK.
2. CARE SHALL BE TAKEN TO ASSURE AN UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
3. CONCRETE REINFORCING SHALL BE SPACED TO EQUAL TO THE WIDTH OF WALK, BUT SHALL NOT EXCEED 18" WITHIN 18" OF EACH END.
4. EXPANSION JOINTS SHALL BE SPACED AT A MINIMUM OF 20 FEET WITHIN A PARALLEL TO THE WALK.
5. REINFORCE WITH #6-W-14-W-1.

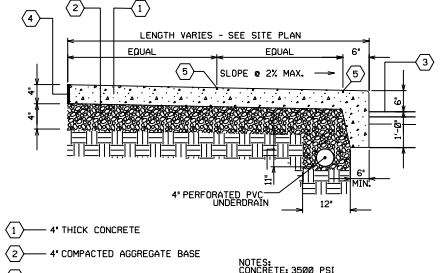
CONCRETE SIDEWALK
N.T.S.



EXTRUDED CURB DETAIL
N.T.S.

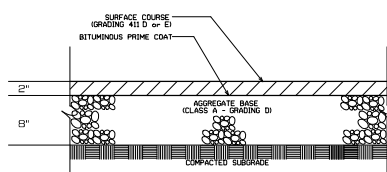


CURB CUT DETAIL
N.T.S.



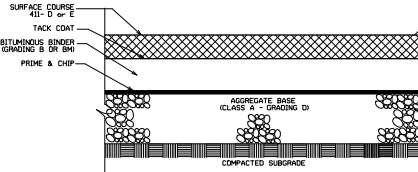
1. 4" THICK CONCRETE
 2. 4" COMPACTED AGGREGATE BASE
 3. PAVEMENT
 4. COMPRESSIBLE FILLER (3/4" MAXIMUM WHERE ADJUTING RIGID SURFACE)
 5. 1/4" TOOLED JOINT
- NOTES:
CONCRETE: 3500 PSI
STEEL: GRADE 60
PROVIDE CONTROL JOINTS @ 5' CENTERS
PROVIDE EXPANSION JOINTS @ 20' CENTERS
SLOPE WALK IN DIRECTION OF POSITIVE DRAINAGE AT 2% MAX.

SIDEWALK WITH TURNED DOWN CURB
N.T.S.



LIGHT DUTY PAVEMENT
N.T.S.

LIGHT DUTY MAY BE USED IN PARKING STALLS

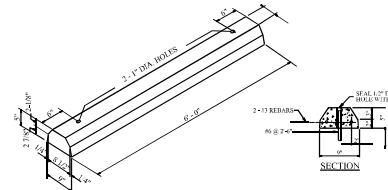


HEAVY DUTY PAVEMENT
N.T.S.

HEAVY DUTY TO BE USED IN ALL DRIVEWAYS AND DRIVE AISLES

FLEXIBLE PAVEMENT DETAILS
N.T.S.

- FLEXIBLE PAVEMENT RECOMMENDATIONS:**
1. HEAVY-DUTY PAVING IN ALL AREAS SUBJECT TO TRUCK TRAFFIC:
A. AGGREGATE BASE COURSE: 10" COMPACTED CALHESD AGGREGATE BASE COURSE.
B. UNDER COURSE: 8" BITUMINOUS ASPHALT UNDER MK (GRADING G OR E)
C. SURFACE COURSE: 1.5" 413-D OR E SURFACE MK
 2. LIGHT DUTY PAVING IN ALL AUTOMOBILE PARKING AREAS:
A. AGGREGATE BASE COURSE: 8" COMPACTED CALHESD AGGREGATE BASE COURSE.
B. SURFACE COURSE: 8" 413-D OR E SURFACE MK
 3. AGGREGATE BASE SHOULD BE COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D698) AT MOISTURE CONTENT WITHIN 5% OF THE OPTIMUM MOISTURE CONTENT.



CONCRETE WHEEL STOP
N.T.S.

PERMIT REVIEW SET SUBJECT TO REVISION

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TAX MAP #087G / PARCEL #028,00
850 RIVER VALLEY DR
PROJECT BENCHMARK:
NOT PROVIDED

RESERVED FOR REVIEWING AGENCY

N.T.S.

WARREN & TUGGLE
CIVIL ENGINEERING
1318 PINEAPPLE DRIVE, COLLETON, TN 37037
TENN. REG. NO. 1457



CIVIL DETAILS

PROPOSED RESIDENTIAL SITE PLANS
HAYNES PROPERTY - BATTLEFIELD SUBD.
850 RIVER VALLEY DRIVE
HARTSVILLE, TROUSDALE COUNTY, TENNESSEE

The following is a preliminary design. It is not intended to be used for construction. It is the responsibility of the contractor to verify all dimensions and conditions on site before construction. The engineer is not responsible for any errors or omissions in this plan set. The engineer is not responsible for any construction details not shown on these plans. The engineer is not responsible for any construction details not shown on these plans.

DATE	REVISION	DESCRIPTION

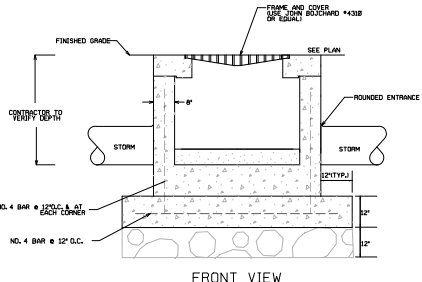
DRAWN BY: **RLW**

CHECKED BY: **RKT**

DATE: **SEPTEMBER 2025**

C6.01

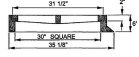
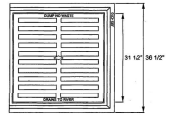
FILE NO. **295-25**



*CASTING TO BE MARKED "NO DUMPING DRAINS TO RIVER"

**CONTRACTOR TO PROVIDE SHOP DRAWING SUBMITTALS FOR DOUBLE INLET CATCH BASINS PRIOR TO INSTALLATION

CATCH BASIN DETAIL
N.T.S.



JOHN BOURCHARD & SONS
TRAFFIC OUTLET
OPEN AREA 3.36 SQUARE FT.
CASTING NO. 430R AREA DRAIN FRAME & GRATE

USE JBS 3183 ON ALL CURB TYPE INLETS

AREA DRAIN FRAME & GRATE
N.T.S.

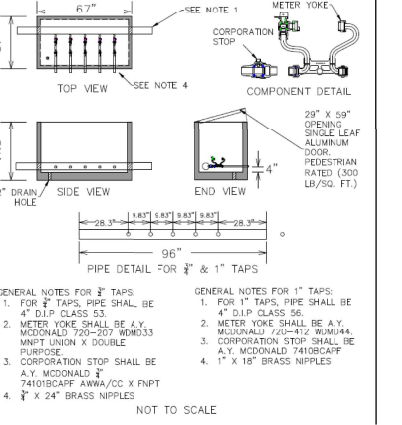
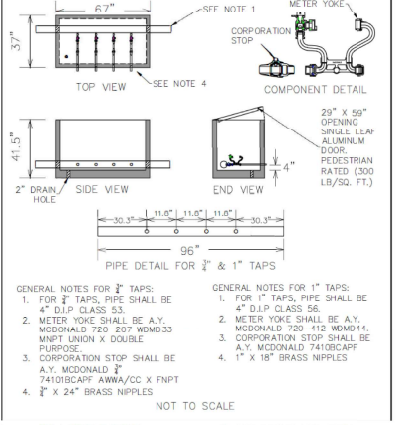
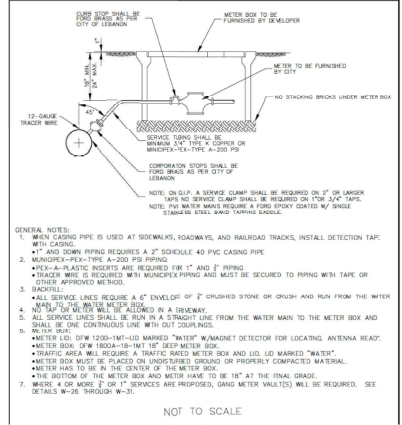
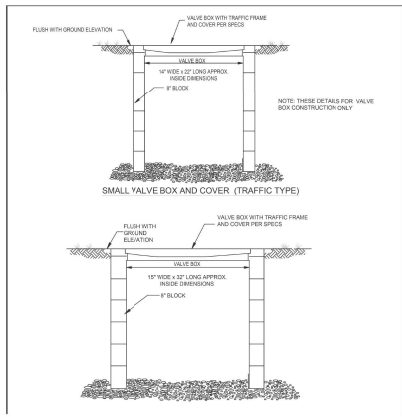
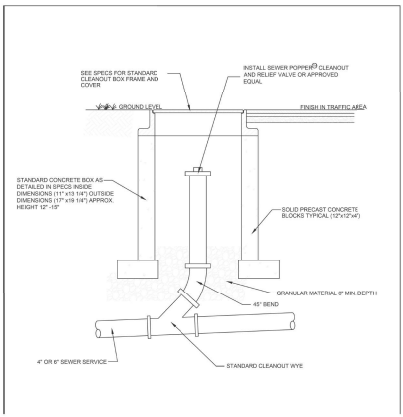
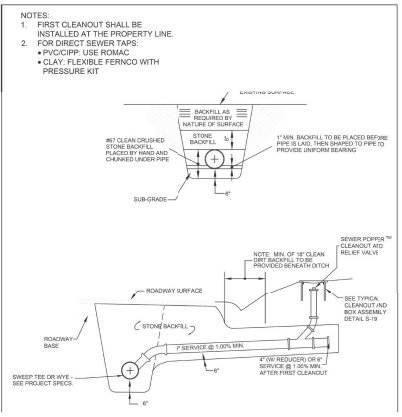
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FAX: (414) 224-3399
WWW.SALSBURYIND.COM

MAIL KIOSK STATION
N.T.S.



PERMIT REVIEW SET SUBJECT TO REVISION

NOTE TO CONTRACTOR: THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET FOR THE SITE CONTROL DURING THE NOT IN THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET SHALL BE A WORK ASSOCIATED WITH THIS PROJECT.



NORTH	TAX MAP #0270 / PARCEL #02600	RESERVED FOR REVIEWING AGENCY
	850 RIVER VALLEY DR	
PROJECT BENCHMARK:		
NOT PROVIDED		

N.T.S.



CIVIL DETAILS

PROPOSED RESIDENTIAL SITE PLANS
HAYNES PROPERTY - BATTLEFIELD SUBD.
850 RIVER VALLEY DRIVE
HARTSVILLE, TROUSDALE COUNTY, TENNESSEE

This drawing and the design shown are the property of WARREN & TUGLE, INC. and shall not be used for any other project without the written approval of the engineer. WARREN & TUGLE, INC. ENGINEERING FIRM LICENSE NO. 12567. THE LICENSEE IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

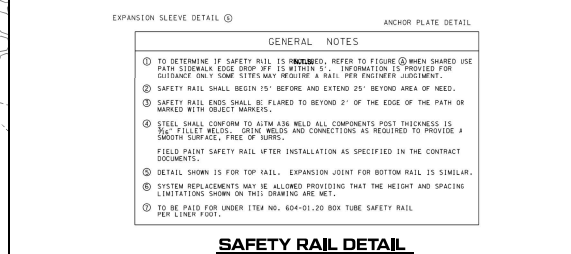
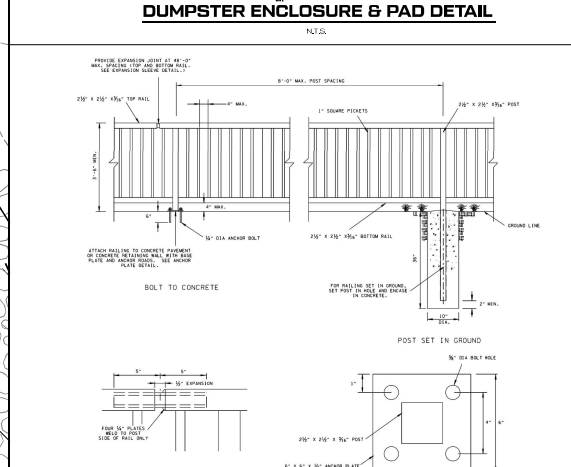
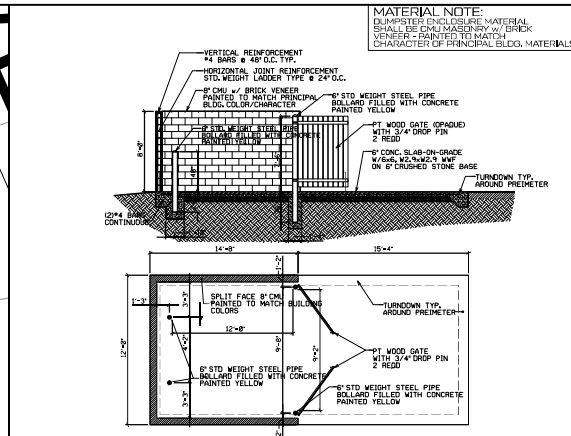
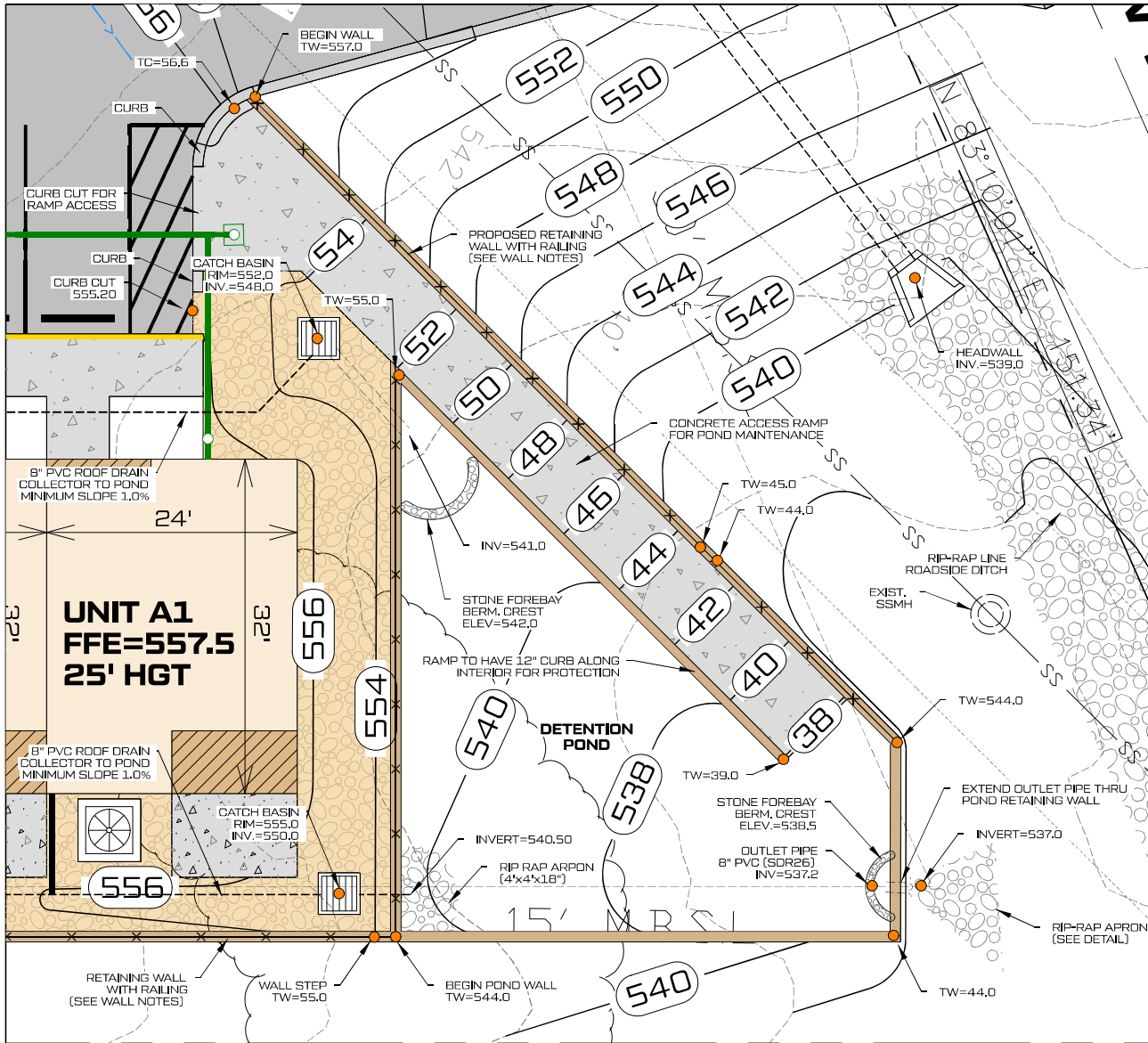
DATE	BY	DESCRIPTION

DRAWN BY: **RLW**

CHECKED BY: **AKT**

DATE: **SEPTEMBER 2025**

C6.02
FILE NO. 295-25



RETAINING WALL NOTES

- RETAINING WALLS TO BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN THE STATE OF TENNESSEE.
- ALL RETAINING WALLS THAT ARE 30-INCHES OR TALLER FROM ADJACENT FINISHED GRADE SHALL HAVE A GUARD RAIL INSTALLED. THE GUARD RAILING SHALL BE A MINIMUM OF 42-INCHES IN HEIGHT AND PROPERLY SECURED/ANCHORED TO THE TOP OF THE WALL.
- THE PROPOSED SITE DESIGN IS BASED ON THE FINAL / STABLE STATE. ALL CONSTRUCTION AND TEMPORARY BRACING SHALL BE DETERMINED BY THE CONTRACTOR AS MEANS AND METHODS TO ACHIEVE THE INTENDED FINAL AND STABLE CONDITIONS.

ENLARGED DETENTION POND PLAN
SCALE: 1" = 5'

PERMIT REVIEW SET SUBJECT TO REVISION

NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THE PLAN SET FOR THE SITE CONSTRUCTION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET FULLY DEFINE ALL WORK ASSOCIATED WITH THE PROJECT.

811
Know what's below
Call before you dig.

PROJECT BENCHMARK:
NOT PROVIDED

N.T.S

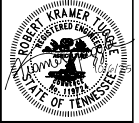
RESERVED FOR REVIEWING AGENCY

DATE: SEPTEMBER 2025

FILE NO.: 295-25

WARREN & TUGGLE
CIVIL ENGINEERING

3408 PLYMOUTH HIGHWAY, WEST WASHINGTON, TN 37185
TEL: 615-446-8888 FAX: 615-446-8889



CIVIL DETAILS

PROPOSED RESIDENTIAL SITE PLANS
HAYNES PROPERTY - BATTLEFIELD SUBD.
850 RIVER VALLEY DRIVE
HARTSVILLE, TROUSDALE COUNTY, TENNESSEE

The drawing and its design show and the contractor shall be responsible for the accuracy of the information shown on this drawing. The contractor shall verify all data and conditions before construction. The contractor shall be responsible for the accuracy of the information shown on this drawing. The contractor shall be responsible for the accuracy of the information shown on this drawing.

DATE	DESCRIPTION	BY	REVISION

DATE: SEPTEMBER 2025

FILE NO.: 295-25

Planning Staff Report
Amanda Harrington, Planning Advisor
October 2025

Item: Site Plan for 850 River Valley Drive
Applicant: Cody Joe Haynes and Trent Maasen
Location: Tax Map 027G, Group B, Parcel 028.00

Discussion:

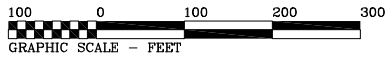
The applicants have submitted a request to develop Tax Map 027G, Group B, Parcel 028.00, with nine buildings/units of multi-family housing on a 0.21-acre property at 851 River Valley Drive.

The site plan was reviewed utilizing Article 7, Section 7.030(C)(2), of the Hartsville Zoning Ordinance). No corrective comments came from that review, and staff recommends approval of the site plan.

**** END COMMENTS ****



PLAT AMENDMENT



**KENNETH
R. KELLER**
RECORD BOOK 66, PAGE 287
MAP 29, PARCEL 2.03

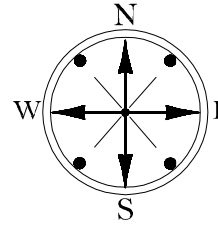
**ENON MISSIONARY
BAPTIST CHURCH**
RECORD BOOK 69, PAGE 263
MAP 29, PARCEL 3.01

**HAROLD
GENE
CARMAN, IV**
RECORD BOOK 157, PAGE 575
MAP 29, PARCEL 3.00

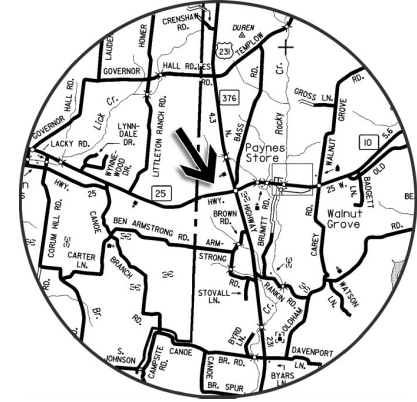
**10.00
AC. +-
ZONED C-1**

JASON ALLEN MCKINNEY
RECORD BOOK 88, PAGE 536
MAP 29, PARCEL 4.04

KRISHA 810, LLC
RECORD BOOK 136, PAGE 827
MAP 29, PARCEL 4.01



LOCATION SKETCH n.t.s.



SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREIN.



CARMAN SURVEYING
30 LINDA LANE
HARTSVILLE, TENNESSEE
PHONE: (615) 374-3244

NOTES:

1. THIS TRACT AND ALL ADJOINING LAND IS ZONED C-1.
2. THIS PROPERTY DOES NOT LIE IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD". SEE COMMUNITY PANEL NUMBER 47169C0019C. EFFECTIVE DATE SEPTEMBER 29, 2010.
3. 18 CAMPSITES PROPOSED
4. ALL CAMPSITES WILL MEET OR EXCEED THE FOLLOWING SPECIFICATIONS:
 - A. 800 SQUARE FEET
 - B. 1 PARKING SPACE
 - C. 1 WATER SPOUT PER 4 SITES
 - D. 1 TRASH BIN PER 2 SITES
 - E. 1 FIREPLACE OR GRILL
 - F. 1 PICNIC TABLE
5. THE RADIUS OF ALL INTERIOR ROADS SHALL BE A MINIMUM OF:
 - 90 DEGREE TURN - 40 FEET
 - 80 DEGREE TURN - 50 FEET
 - 45 DEGREE TURN - 68 FEET

SITE PLAN FOR

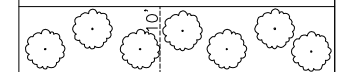
ROCK WALL RV PARK

LOCATED IN THE 6TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

STATE HIGHWAY #25

SCALE : 1" = 100'
DATE : MAY 30, 2023
SIZE : 10.00 AC.+-
DEED : R. B. 91, PG. 665, R.O.T.C.T.
MAP : MAP 29, PAR. 4.02, T.A.O.T.C.T.

VEGETATION SCREEN DETAIL



Planning Staff Report
Amanda Harrington, Planning Advisor
October 2025

Item: Site Plan for 405 Hwy 25 West, Castalian Springs, TN

Applicant: Chris Barber

Location: Tax Map 029, Parcel 004.02

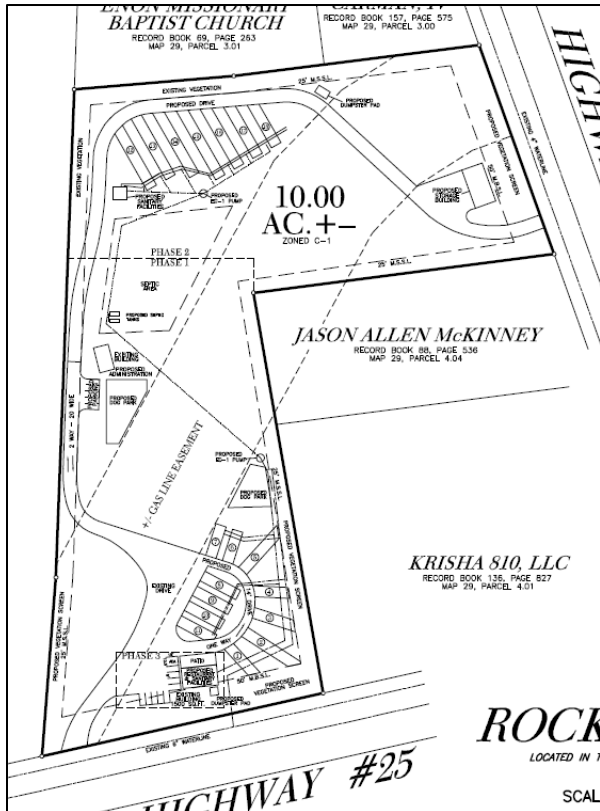
Zoning: C-1

Jurisdiction: Trousdale County

Discussion:

The applicant has submitted an “Update for Phases 2 & 3” of the Rockwall RV Park, in the form of a site plan, for 18 proposed campsites located at 405 Hwy 25 West.

The request is to make Phase 3 the next Phase; Phase 2 will be the last phase of the project. The Board of Zoning Appeals and the Planning Commission approved the overall master plan in June of 2023.



** END COMMENTS **

PRELIMINARY PLAT



Planning/BZA Permit Application

Date: 08/20/2025
Permit #: 25282

Applicant / Owner

Applicant Name: Carman Surveying
Address: 50 LINDA LANE
City, State, Zip: HARTSVILLE
Phone: [REDACTED]
Email: [REDACTED]
Type:

Owner Name: Dennis Goke
Address: Morrison Street
City, State, Zip: Hartsville, TN, 37074
Phone: [REDACTED]
Email: [REDACTED]

Project

Permit Type: Zoning - Planning / BZA
Status: Pending
Location: Morrison St
Tax Map #: 027
Group: na
Parcel: 003.12
Record/Deed: RB 182, PG 608

Subdivision:
Phase:
Lot #:
Request Type: Major Subdivision
Water Source: Hartsville / Trousdale Water Dept.
Sewer / Septic: Sewer
Zoning District:

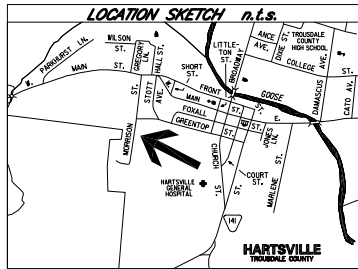
Project Description: Major Subdivision

I do hereby certify that the information contained herein is true and correct.

[REDACTED]

Jim Carman

08/20/2025
Date



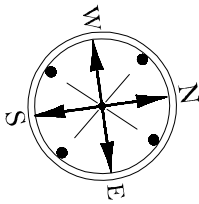
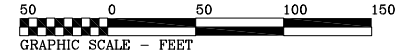
PRELIMINARY SUBDIVISION PLAT FOR
DENNIS GOKE
 LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

SCALE : 1" = 50'
 DATE : SEPTEMBER 23, 2025
 SIZE : 5.741 AC.+-
 DEED : R. B. 182, PG. 608, R.O.T.C.T.
 MAP : MAP 27, PAR. 3.12 P/O, T.A.O.T.C.T.

NOTES:

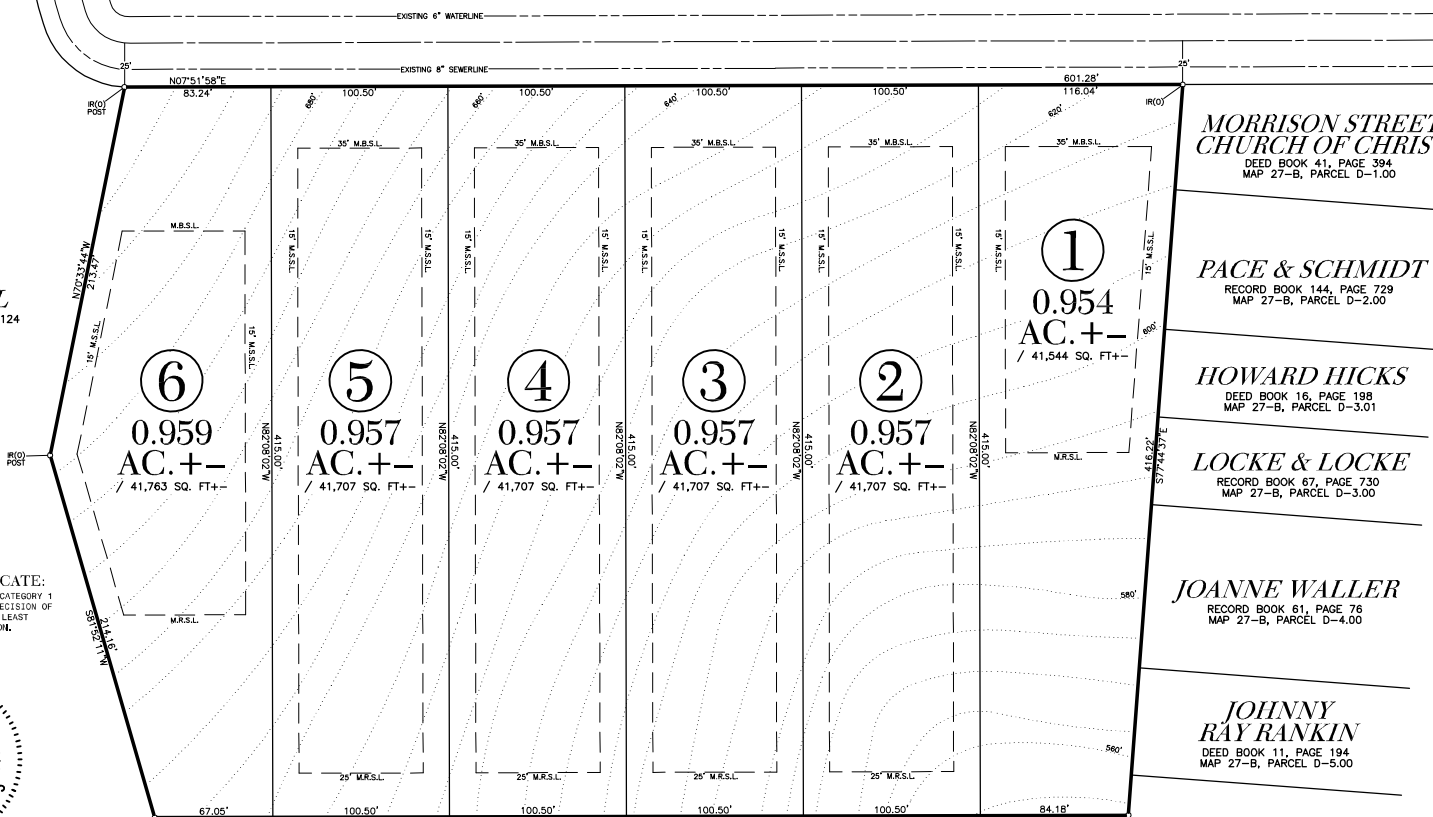
1. PROPERTY IS ZONED R-1 - HARTSVILLE.
2. THIS PROPERTY DOES NOT LIE IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD", SEE COMMUNITY PANEL NUMBER 47168004-C, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2010.
3. OWNER: DENNIS GOKE
2635 OLD LAFAYETTE ROAD
HARTSVILLE, TENNESSEE 37074
4. ALL CORNERS ARE NEW IRON RODS UNLESS OTHERWISE SPECIFIED.
5. CULVERT SIZES WILL BE DETERMINED BY THE APPROPRIATE GOVERNMENT OFFICIAL.

CERTIFICATE OF PRELIMINARY APPROVAL
 Approved by the Hartsville / Trousdale County Planning Commission, with exceptions or conditions as are indicated in the Minutes of the Planning Commission dated October 13, 2025. Preliminary approval shall not constitute final approval of the Subdivision Plat.
 Date: _____
 Secretary Planning Commission



MORRISON

STREET



JOHN C. MAXWELL
 RECORD BOOK 82, PAGE 124
 MAP 27, PARCEL 3.00

MORRISON STREET CHURCH OF CHRIST
 DEED BOOK 41, PAGE 394
 MAP 27-B, PARCEL D-1.00

PACE & SCHMIDT
 RECORD BOOK 144, PAGE 729
 MAP 27-B, PARCEL D-2.00

HOWARD HICKS
 DEED BOOK 16, PAGE 198
 MAP 27-B, PARCEL D-3.01

LOCKE & LOCKE
 RECORD BOOK 67, PAGE 730
 MAP 27-B, PARCEL D-3.00

JOANNE WALLER
 RECORD BOOK 61, PAGE 76
 MAP 27-B, PARCEL D-4.00

JOHNNY RAY RANKIN
 DEED BOOK 11, PAGE 194
 MAP 27-B, PARCEL D-5.00

FRANCES KENNON
 RECORD BOOK 179, PAGE 416
 MAP 27-B, PARCEL D-6.00

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
 501 DODD LANE
 HARTSVILLE, TENNESSEE
 PHONE: (615) 374-3344

REMAINING PROPERTY OF
DENNIS GOKE
 RECORD BOOK 182, PAGE 608
 MAP 27, PARCEL 3.12 P/O
 REMAINING ACREAGE: 5.04 AC.+-
 REMAINING FRONTAGE: 180 FEET

Planning Staff Report
Amanda Harrington, Planning Advisor
October 2025

Item: Preliminary Plat for Dennis Goke
Location: Tax Map 027, Parcel 003.12
Zoning: R-1
Jurisdiction: Trousdale County

Discussion/Review:

The preliminary plat was reviewed per Article 5, Section 5-102.2, Features, of the Trousdale Subdivision Regulations. No review comments came from that review. Staff recommends approval of the preliminary plat.

**** END COMMENTS ****

